

**City of Concord Planning Board  
August 19, 2015**

**Project Summary Sheet  
Major Site Plan**

*Project Name:*           **O'Reilly Auto Parts (2015-30)**  
*Owner:*               **O'Reilly Auto Enterprises, LLC**  
*Address:*             **189 Fisherville Rd.**  
*Map/Block/Lot:*      **204P/73**

**DETERMINATION OF COMPLETENESS:**

Determine this application complete and set the public hearing for the September 16th, 2015 Planning Board meeting.

**PROJECT DESCRIPTION:**

The applicant is proposing construction of a new 7,385 sf building and related site improvements for the purpose of retail sales of automobile parts at 189 Fisherville Road in the CG General Commercial District. The lot is currently vacant.

**PROJECT DETAILS:**

Zoning:	CG – General Commercial
Proposed Use:	Retail (auto parts)
Lot Area Required:	25,000 sf
Lot Area Provided:	3.159 acres
Lot Frontage Required:	150'
Lot Frontage Provided:	150'
Parking Required:	30 spaces, including 2 ADA spaces
Parking Proposed:	31 spaces, including 2 ADA spaces
Lot Coverage Max.:	80%
Lot Coverage Proposed:	20.5%
Building Setbacks:	30' front; 30' rear; 25' side
Adjacent Uses:	North: Retail (Dollar General – CG Zoning)) South: Residential (CG Zoning) East: Vacant (CG Zoning) West: Residential (RM Zoning)

**GENERAL COMMENTS**

- A.1 The following comments pertain to the 18 sheet plan set titled "O'Reilly Auto Parts" dated 6/26/15.
- A.2 Please see Engineering comments from Laura Aibel, P.E., and Jeff Warner, P.E., dated 8/7/15, from Robert Mack, P.E. dated 7-21-15, and from Paul Gendron, LLS, dated 8-13-15.
- A.3 There is no access easement for the west drive aisle connection to Dollar General. If this access is to remain, Dollar General must be included as a co-applicant on the project, and a representative from Dollar General must sign the application. The applicant has stated that the access will be removed from future plan submissions.

**B. ARCHITECTURAL DESIGN REVIEW**

- B.1 Per Section 28-9-4(f) of the Zoning Ordinance (ZO), Architectural Design Review (ADR) is required for projects requiring Major Site Plan approval. The applicant is scheduled to attend the September 8<sup>th</sup> ADR meeting.
- B.2 Graphics and details for proposed ground and building signs must be provided prior to the ADR meeting. Staff also recommends that the applicant provide updated copies of the rendered architectural elevations that were submitted to Staff prior to the current application.

**C. LANDSCAPE PLAN**

- C.1 Please note that Section 28-7-7(g) (ZO) requires a 10-foot wide parking setback from collector roads, while Section 28-7-10 (ZO) requires a 10-foot landscape buffer around the perimeter of parking areas when the parking setback requirement is 10 feet.  
  
Site Plans and Landscape Plans should be revised to indicate the 10-foot parking setback from Fisherville Road, and to provide the 10-foot wide landscape buffer around the perimeter of the parking lot. The landscape buffer shall include shrubs, trees, and groundcovers. The proposed plan indicates grass and trees. Shrubs and groundcovers shall be provided, including along the eastern perimeter of the parking area, which fronts on Fisherville Road.
- C.2 According to Section 18.17 of the Site Plan Regulations (SPR), required parking lot trees must be planted within 20 feet of the parking lot. The applicant is proposing the required quantity of trees, however, five (5) of these are not located within 20 feet of the parking area.
- C.3 Sections 18.11 and 26.05 (SPR) permit the Planning Board to require landscape buffers for existing residential uses in a non-residential district. To the south of the proposed retail store is an existing single family home located less than 50 feet from the proposed retail building. Staff recommends that a dense screen consisting of shrubs and trees be provided adjacent to the proposed retail building, to reach a minimum of 12 feet in height at maturity.  
  
Staff also recommends landscape screening or an opaque fence be provided between the parking lot and the residential property. This would provide screening from parking lot lighting, building mounted wall packs, and from the loading area.
- C.4 Section 28.04 (6) of the Subdivision Regulation requires one 2.5-inch caliper shade tree for every 50 feet of street frontage when Landscape Plans are required (only required for a major subdivision plan). The property was most recently the subject of a consolidation & re-subdivision plan which was approved by the Board on January 15, 2014 and subsequently

recorded at the Registry. While not considered a major subdivision, two (2) street trees were proposed. These trees were provided to meet part of the Landscape Plan requirements on the adjacent parcel, though one is now proposed to be removed. (See Comment C.5 below.)

Since the Board may require landscaping as deemed appropriate per Section 27.07 (11) (SPR), Staff recommends that the Board require three (3) 2.5-inch caliper shade trees total along the frontage of Fisherville Rd. Should the Board require the street trees, the applicant will need to confirm that the existing "No Building Zone" (BK/PG: 3444/1267) permits trees.

Staff notes that the Pedestrian and Bicycle Sub-committee of TPAC also recommended that shade trees be provided to improve the experience of pedestrians and cyclists on Fisherville Road.

- C.5 The current submission proposes to remove four (4) trees on both the O'Reilly parcel and the adjacent Dollar General parcel, which were installed to meet requirements for the Dollar General Site Plan application. Three (3) of these were to be removed for a second western access connection to the Dollar General parking lot. The applicant has stated that this connection is no longer proposed.

We assume that one (1) 2.5-inch caliper Callery Pear that was previously installed on the O'Reilly parcel is still proposed to be removed for the current application. This must be replaced in addition to other landscaping required for the O'Reilly site plan.

- C.6 The Landscape Plan must show existing trees to remain. Currently, the Landscape Plan indicates two (2) proposed trees in the same location that two (2) existing trees are indicated to remain on the Demolition Plan.

## **D. LOADING AREAS & SOLID WASTE FACILITIES**

- D.1 Section 20.05 (SPR) states that loading areas shall be screened from view from abutting streets and properties to the greatest extent possible. The proposed plan indicates no screening from the loading area. Staff recommends that a solid opaque fence a minimum of 6 feet in height be provided.
- D.2 Section 20.06 (SPR) requires solid waste facilities such as dumpsters to be screened by an opaque fence a minimum of 6 feet in height. The applicant is proposing a 4.5 foot tall fence. Plans shall be revised to provide a 6-foot tall fence.

## **E. TECHNICAL REVIEW COMMENTS**

1. Remove pages listed on the Sheet Index cover that do not appear in the plan set (S1 to A2, A4.1 to F1, P1 to 15-1006-D).
2. Remove the former Tract Lines from all pages.
3. Revise architectural elevations or the Lighting Plan to consistently indicate the location of wall mounted lights.
4. Clarify whether there will be any lighting on the south side of the building for the rear entrance, and whether there will be any external illumination of the proposed ground sign.
5. Indicate the parking spaces and loading areas on the Landscape Plan
6. Add a note to the plan stating that all required landscape areas shall be adequately maintained such that the minimum landscape standards are always met, in accordance with Article 28-7-10(e) of the Zoning Ordinance.

7. The location of trees to remain shall be noted on all plans. Methods for the preservation of existing trees shall be noted on the Demolition and Erosion and Sediment Control Plans.
8. Silt or construction fencing shall be installed around vegetation and/or trees to remain (at the drip line) and shall be shown on the Demolition Plan and Erosion and Sediment Control Plan.
9. Add a note to the plan stating that no equipment, materials, or soil shall be located within the drip line of trees to remain.
10. Provide a rendered overview plan showing lot lines, buildings, driveways, parking, loading areas, waste facilities, green space and tree plantings, fences and/or buffers, and other significant features.
11. Provide a Location Plan in compliance with Section 12.04 (SPR).
12. Add a note to the plan indicating the purpose of the plan set. (e.g. Major site plan application for construction of ...)
13. Add full names and addresses of abutters across Fisherville Road to the Existing Conditions Plan and Site Plan.
14. Indicate provisions for the removal or reuse of any construction or demolition debris from the site.
15. Indicate the location, bearings, and dimensions of all existing and proposed easements on the Site Plan, Grading Plan, and Utility Plan.
16. Indicate square feet of impervious surface area in the Zoning Analysis Table.
17. Indicate setbacks on the Grading Plan.

Prepared by: HRS

*S:\Plan\Development Review\Project Files\2015\2015-30\_OReillyAuto\_SPR\Report\_OReillyAuto\_SPR.docx*



**CITY OF CONCORD**  
**NEW HAMPSHIRE**  
***Community Development Department***  
*Engineering Services Division*

City Hall • 41 Green Street • Concord, NH 03301 • tel. (603) 225-8520 • fax (603) 230-3630

**TO:** Community Development  
**FROM:** Laura M. Aibel, PE, Associate Engineer  
Jeffrey A. Warner, PE, Project Manager/Civil Engineer  
**DATE:** August 6, 2015  
**SUBJECT:** Site Plan review for O'Reilly Auto Parts; Map 204P, Lot 70

Engineering Services has received the following items for review:

1. O'Reilly Auto Parts (17 sheets); submitted by Esterly Schneider & Associates and Bohler Engineering – dated June 26, 2015 having no revision dates; received July 10, 2015.
2. Stormwater Drainage Analysis; submitted by Bohler Engineering – dated June 26, 2015 having no revision dates; received July 10, 2015.

As a supplement to any comments offered by Planning, we offer the following design related comments. **With subsequent submissions, please provide a response letter acknowledging / addressing the comments noted below.**

**General Comments**

1. The following notes should be added to the plans:
  - The contractor shall request a Preconstruction Meeting with Engineering Services to discuss site inspections, schedules, special conditions, etc.
  - All work shall be constructed in accordance with the City of Concord's Construction Standards and Details, latest edition.
  - The contractor shall apply for an excavation permit (available from Engineering Services) per City Ordinance Article 5-1-4 for work within the City right-of-way or on City owned property. Contact the City of Concord Engineering Services Division prior to construction to apply for the permit.
  - The contractor shall apply for a driveway permit (available from Engineering Services) per City Ordinance Article 5-1-8 to repair, widen, reconstruct or construct a driveway.
  - Upon project completion, the contractor shall provide as-built drawings surveyed on NH State Plan Grid Coordinates and N.A.V.D. 88 Datum and submit to the Engineering Services Division in electronic format for inclusion in the city GIS database.
  - A Temporary Traffic Control Plan (TTC) will be required for all work in and adjacent to Fisherville Road. The Contractor shall submit the TTC two weeks prior to beginning work. Provisions for temporary accessible pedestrian routes should be included in the design.
2. To ensure that the proposed improvements within the right-of-way are completed, a financial guarantee will be required for this work. In order to calculate the amount of the financial guarantee, an engineer's cost estimate should be submitted with the final plan submission. The financial guarantee will be required two weeks in advance of the Pre-Construction Meeting. Unit prices used in the estimate should be obtained from the NHDOT *Weighted Average Unit Prices* for the most recent quarter

<<<http://www.nh.gov/dot/org/projectdevelopment/highwaydesign/documents/WeightedAveragesImperial.pdf>>>.

3. We anticipate that this project will be completed prior to the final wearing course for Phase 6 of the Route 3 Corridor Project which is scheduled for the spring of 2016. If our assumption is correct, the contractor will be allowed to pave the utility trenches with 5½" of base pavement flush with the finished grade of the adjacent pavement (base flush). The Phase 6 project will place the wearing course for Fisherville Road after this project is complete.

### **Plan Review Comments:**

#### **Existing Conditions Plan**

1. Per the Subdivision and Site Plan Regulations, the plan shall be prepared based on the New Hampshire State Plane Grid Coordinates. A note should be added to the plan indicating compliance with this regulation.
2. Storm drain and sewer structures should be labeled with the numbering convention used by the city and can be obtained from the kiosk located in the Engineering Section of City Hall.
3. The size of all utilities: water and gas should be labeled.
4. The location of the recently installed sewer main and manholes along Fisherville Road should be located and added to the plan, including inverts.
5. Note #10 should be revised to read City Hall 603-225-8520 in-place of Town Hall...
6. Note #12 can be removed from the plan since the sewer main has been extended.

#### **Site Development Plan**

1. Consistent with the 2010 Bicycle Master Plan, bicycle parking should be provided as close to the main entrance as practicable. The preferred rack design is an inverted "U" similar to the "Square U Rack" by MADRAX or the Downtown Rack by Dero, or a post and ring type rack where the center post is the same dimension as the ring dimensions. As noted by the Pedestrian and Bicycle Information Center (administered by the Pedestrian and Bicycle Information Center (PBIC) within the UNC Highway Safety Research Center and funded by the Federal Highway Administration), "The availability of safe and convenient parking is as critical to bicyclists as it is for motorists, yet it is frequently overlooked in the design and operation of shops, offices, schools, and other buildings."

PBIC directs designers to the 2010 Bicycle Parking Guidelines published by the Association of Pedestrian and Bicycle Professionals (APBP) for guidance. For short term parking, this guide recommends 1 space for each 5,000 sf of floor area, minimum 2 spaces. We suggest one rack be placed to the east of the parking area near the northeast corner of the building on a 6'x8' concrete pad.

2. In accordance with Construction Detail M-12 and 13, dumpsters shall be located a minimum 25' from any drainage structure, inlet or stormwater facility.
3. We believe all the striping in the parking lot (including symbols) should be white except for the striping between opposing traffic. The goal is uniformity in what drivers see no matter where they are. The following is an excerpt from the MUTCD.

When used, white markings for longitudinal lines shall delineate:

- A. The separation of traffic flows in the same direction.
- B. The right edge of the roadway.

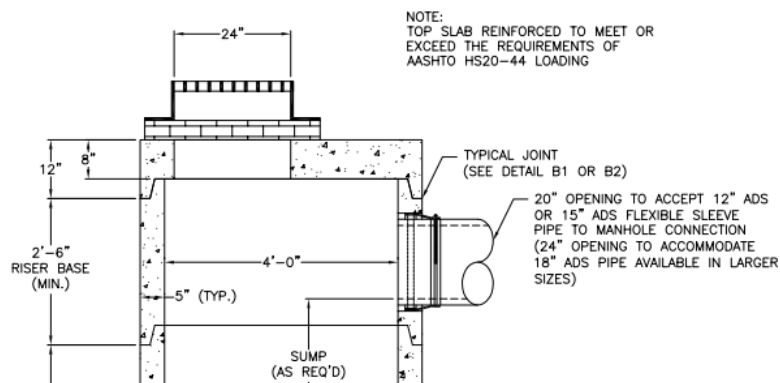
When used, yellow markings for longitudinal lines shall delineate:

- A. The separation of traffic traveling in opposite directions.
- B. The left edge of the roadways of divided and one-way highways and ramps.
- C. The separation of two-way left turn lanes and reversible lanes from other lanes.

See Figure 3B-19 of the MUTCD for additional information with regard to accessible parking markings.

## Site Grading Plan

1. Per Site Plan Regulations 18.21, snow storage areas should be designated on the Site and Grading Plans. Please make sure that these areas represent reality and do not interfere with storm sewers, lighting, landscaping, etc. or result in snowmelt running across the abutting properties.
2. In accordance with the City's Construction Standards, the minimum size of a storm drain is 12".
3. We suggest tying the downspouts on the north side of the building to the 12" storm drain from CB1.
4. The 363 contour along the south side of the building should tie back to the building to the west of the western most downspout.
5. The minimum depth to the invert of pipe is: 12"=3.7', 15"=3.9', 18"=4.2', 24"=4.8', 30"=5.3', 36"=5.8'. (8" frame, 5" brick, 8" concrete top, 4" to bottom of joint, 4" solid wall to pipe opening, 2" rough opening, pipe thickness, pipe diameter) These dimensions were developed with the assistance of a local supplier. If you feel there is another option available, the make and model of the structure should be provided along with a suitable detail.



## Site Utility Plans

1. The size and material of the water main should be researched and noted on the plan.
2. Per Site Plan Regulations 16.02(14)(b), "Profiles of all municipal utilities shall be provided." This applies for water and sewer for this site. Existing ground, proposed ground, and all crossing utilities should be shown.
3. A curb stop for the water service should be shown at the right-of-way line.
4. Insulation should be shown and noted on the plans for:
  - a. locations where there is less than 2' of separation between storm sewer and sewer utilities.
  - b. locations where there is less than 3' of separation between storm sewer and water utilities.  
Insulation is not allowed for insufficient cover over water lines without approval.
  - c. locations where there is less than 5½' of cover over water lines.
  - d. locations where there is less than 4' of cover over sewer services.
  - e. Locations where there is less than 3' of cover over storm drains.  
The insulation should consist of 2" rigid polystyrene thermal insulation with a minimum "R" value of 10 and extend 4' each side.
5. The sewer main in the street is approximately 11.5' deep. The sewer service should be routed to the manhole opposite the building and an inside drop installed in the existing 5' diameter manhole. We recommend an additional cleanout be installed where the service angles toward the manhole, outside of the right-of-way.

## C7 – Details

1. Detention Pond Basin: The New Hampshire Stormwater Manual, Volume 2 required the bottom of infiltration basins be 1) 6" layer of course sand or 3/8" pea gravel, 2) grass turf that can be inundated for 72+ hours, or 3) course organic material such as erosion control mix or composted mulch that is

tilled into the soil, soaked, and allowed to dry. The detail should be revised to comply with these guidelines.

2. Precast Concrete Deep Sump Catch Basin Detail: The detail should be revised to reflect the minimum depth to the invert of pipe comment noted above.
3. City of Concord Construction Details should be used where possible. As a minimum, the details should be revised to reflect the City's Details. For example, the cleanout detail should be revised.
4. The Sewer Connection Detail should be removed.
5. The Sewer Service Connection/Inside Drop Manhole detail should be added.

### **Landscape Plan**

1. The plan calls for "detention basin seed mix (typ)". See previous comment regarding the detention basin bottom. Will this seed mix flourish in conditions where it will be inundated for 72+ hours and arid conditions or should a pea stone surface be used?
2. The shrubs around the sign are within three feet of the sidewalk. These shrubs will be within a zone where they may be impacted by snow removal from the sidewalk. Five feet of separation is recommended. Are the plants appropriate for this location or should a perennial which dies back in the fall be more appropriate?

### **Site Electrical and Site Lighting Plans**

1. The details indicate a 2'-6" foundation height. Since the poles are located well behind curb, the foundations should be limited to 6" of exposed concrete above finish grade.
2. What is the BUG rating for the wall mounted fixtures?
3. The mounting height of the Type "S1" fixtures is noted as 27'-6" which exceeds the maximum allowed fixture height of 25'.
4. It is unclear which "S1" fixture is to be used for this site.
5. Using the contemporary standard set by the Model Lighting Ordinance (June 15, 2011; Illuminating Engineering Society of North American and International Dark Sky Association), we recognize this neighborhood as LZ-2, Moderate ambient lighting. As such, based on the BUG rating, the maximum uplight should be limited to U2 and the glare should be limited to G2. The "S1" fixture appears to have a G3 or G4 rating which is more appropriate for a downtown location.
6. Per Concord Zoning Ordinance 28-7-7(j), all parking lot illumination shall be subject to a four to one uniformity ratio, which is the ratio of the average illumination to the minimum illumination. The designed uniformity ratio, and the average, maximum and minimum lighting levels should be noted on the plans for the parking areas. A line or shading should be added to the plan to indicate the area used in the calculations.
7. Building mounted lighting should be included in the lighting calculations. The building elevations indicate that fixtures will be installed on the south, west and east side of the building. The footcandle distribution should include these fixtures. Also, any lighting proposed under the overhang at the entrance should be included in the calculations.

### **Details**

1. We believe all the striping in the parking lot (including symbols) should be white except for the striping between opposing traffic. The goal is uniformity in what drivers see no matter where they are. The following is an excerpt from the MUTCD.

When used, white markings for longitudinal lines shall delineate:

- C. The separation of traffic flows in the same direction.
- D. The right edge of the roadway.

When used, yellow markings for longitudinal lines shall delineate:

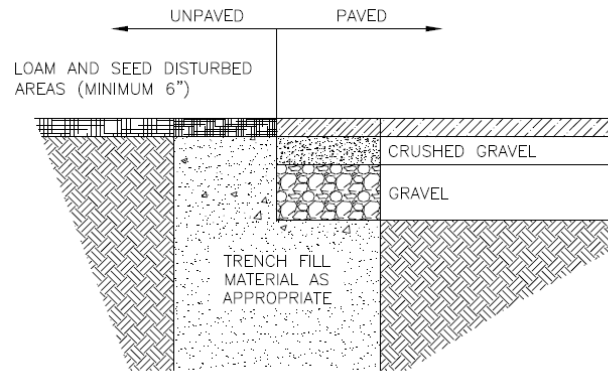
- D. The separation of traffic traveling in opposite directions.
- E. The left edge of the roadways of divided and one-way highways and ramps.



F. The separation of two-way left turn lanes and reversible lanes from other lanes.

See Figure 3B-19 of the MUTCD for additional information with regard to accessible parking markings.

2. A detail for the reconstruction of Fisherville Road similar to that shown below should be included except that the pavement should be noted to be base flush as noted above.



1. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO THE CITY OF CONCORD CONSTRUCTION STANDARDS AND DETAILS
2. FOR RECONSTRUCTION OF EXISTING PAVED AREAS, PAVEMENT AND SUB-BASE DEPTHS SHALL MATCH THE EXISTING CONDITIONS
3. MINIMUM PAVEMENT DEPTHS FOR NEW OR RECONSTRUCTED ROADWAYS SHALL BE AS FOLLOWS:  
MINOR STREET  
4" (MIN) HOT BITUMINOUS PAVEMENT  
1½" WEARING COURSE  
2½" BASE COURSE  
COLLECTOR STREET  
5" (MIN) HOT BITUMINOUS PAVEMENT  
1½" WEARING COURSE  
3½" BASE COURSE

3. As a minimum, the following details, which reflect City of Concord Construction Standards, should be added to the plan set.
  - a. Sawcut requirements
  - b. Dumpster pad

#### **Stormwater / Drainage**

1. Please label the subcatchments, ponds, reaches and links on the drainage area plans.
2. Provide test pit data as described in the NH Stormwater Manual and establish the seasonal high groundwater table (SHGWT). If infiltration is an appropriate BMP as determined by the Stormwater Manual, ensure that the test pits extend to an appropriate depth below the infiltration practice and that proper separation is established between the bottom of the infiltration practice and the SHGWT.
3. NHDES Alteration of Terrain Bureau has set the standard for determining effective infiltration rates for Best Management Practices that rely on infiltration. The New Hampshire Stormwater Manual: Volume 2 should be used to establish the infiltration rate for this project. A safety factor of 2 should be applied to the slowest k(sat) value to determine the default rate that should be used for this project, or site specific soil mapping can be performed to determine the anticipated infiltration rate.
4. The Proposed Drainage Tributary Map:
  - a. Indicates that the roof drains south to the yard drains. The building elevations indicates that the building roof is pitched to the north and south.
  - b. Indicates P-1B is a catch basin. The report indicates the infiltration pond is P-1B. Please clarify.
5. Please use dynamic discharge when modelling CB1 and the yard drains.
6. The rainfall for the 10-year storm does not agree with the Extreme Precipitation Tables provided.



**CITY OF CONCORD**  
**NEW HAMPSHIRE**  
***Community Development Department***  
*Engineering Services Division*

City Hall • 41 Green Street • Concord, NH 03301 • tel. (603) 225-8520 • fax (603) 230-3630

**TO:** Community Development Department  
Planning Division

**FROM:** Robert J. Mack, P.E., P.T.O.E.  
Traffic Engineer

**DATE:** July 21, 2015

**SUBJECT:** Engineering Services Transportation Review  
Traffic Statement  
Proposed O'Reilly Auto Parts, 189 Fisherville Road

---

This memorandum summarizes staff review of the July 21, 2015 Traffic Statement<sup>1</sup> (TS) prepared by Bohler Engineering for the proposed development of an O'Reilly Auto Parts store on a site at 189 Fisherville Road. The study area includes the proposed site driveway intersection on the west side of Village Street.

### **Development Summary**

The proposed development consists of a 7,385 square-foot (sf) O'Reilly Auto Parts building located on the southern side of the recently-opened Dollar General site at 189 Fisherville Road. The Dollar General store (207 Fisherville Road), on the adjacent parcel to the north, designed its driveway access to Fisherville Road to accommodate the future development of the subject site at #189. Both stores will share the common driveway at Dollar General for access to Fisherville Road.

Vanasse Hangen Brustlin Inc. (VHB) prepared a traffic study<sup>2</sup> for the development of the Dollar General site in 2013. As part of that study, VHB prepared a driveway operational analysis for the then-proposed Dollar General site that assumed an option of additional traffic growth due to future development of the subject retail site to the south. The 'additional growth' analyzed was an assumption of about 360 additional PM peak-hour trips, beyond the 35 trips estimated for the Dollar General facility. VHB's analysis indicated a workable site driveway operation at the higher level of additional driveway volume.

---

<sup>1</sup> Bohler Engineering, Revised Traffic Statement Addendum, Proposed O'Reilly Auto Parts, 189 Fisherville Road, Concord, NH, dated July 21, 2015.

<sup>2</sup> VHB memorandum, Site Access Evaluation, Proposed Dollar General Store, 207 Fisherville Road, Concord, NH, dated September 17, 2013

The TS submitted by Bohler properly estimates that the proposed auto parts facility will generate 457 weekday daily trips (half in and half out). During weekday commuter peak hours, the site will generate an estimated 16 trips during the AM peak hour and 44 trips during the PM peak hour. Note that the proposed 44 PM trips is substantially less than the additional 360 trips assumed by VHB in their approved analysis of potential future development at 189 Fisherville Road. As such, staff opinion is that the traffic assessment and consolidated driveway design reviewed and approved for the former Dollar General site adequately covers the proposed O'Reilly Auto Parts development.

## Project Description:

New O'Reilly Auto Parts Store  
189 Fisherville Road  
Concord, NH #1 (CR1)

Construction of a new 7,416 square foot (wood construction) O'Reilly Auto Parts Store is being planned for Fisherville Road between Borough Road/Manor Road and Pinehurst Street in Concord, NH. The existing vegetation on the property is proposed to be cleared where necessary for the construction of the proposed development. The property is currently zoned CG and covers approximately 3.159 acres. Site improvements include 31 on-site parking spaces, landscaping, and stormwater management.

The store will be owned by O'Reilly Auto Enterprises, LLC and is a business for the purpose of the retail sale of auto parts.

Products stored in the building are automotive parts and related vehicle accessories. A semi-truck will make deliveries to the store five days of the week.

Typical operating hours are Monday through Saturday 7:30 AM to 9:00 PM and Sunday 9:00 AM to 7:00 PM. O'Reilly Auto Parts typically employs approximately 12 people, regularly, with 3 to 8 employees in the store at all times and expects to host 1 to 15 customers at any given time.



RECEIVED  
JUN 29 2015

TRACT 1  
PER BK. 3348, PG. 1641

MAP 201P, LOT 1  
N/F LANDS OF  
DG STRATEGIC II, LLC  
BK. 3444, PG. 1265  
ZONE: GENERAL  
COMMERCIAL  
DISTRICT (CG)  
#197 FISHERVILLE ROAD  
TRACT 3  
PER BK. 3348, PG. 1641

**BOHLER ENGINEERING**  
352 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
Phone: (508) 480-9900  
Fax: (508) 480-9980  
www.BohlerEngineering.com

**W.D. BOEHLER**  
Professional Engineer  
No. 071984-1  
FLORIDA LICENSE NO. 00222

1736 East Sunshine, Suite 417  
Springfield, Missouri 65804  
417-862-0558  
Fax: 417-862-3265  
e-mail: architect@esterlyschneider.com

**ESTERLY SCHNEIDER & ASSOCIATES, INC.**  
AIA architects & planners

New O'Reilly Auto Parts Store  
FISHERVILLE ROAD  
CONCORD, NH

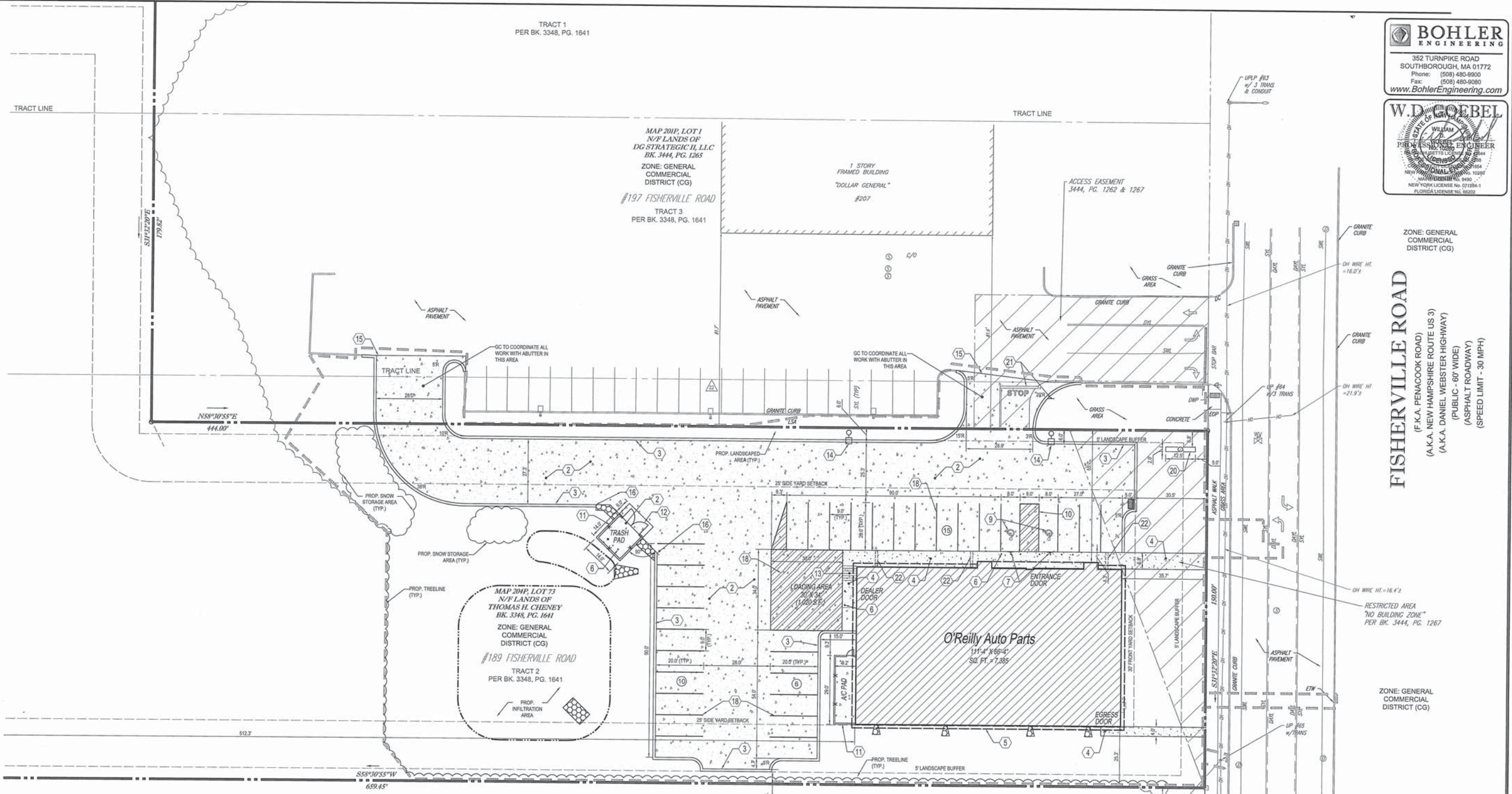
**O'Reilly AUTO PARTS**

233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
417-862-2674 PHONE

COMM # 3703

DATE: 06/26/15  
REVISION  
DATE:

C2 of 7



### SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND	
	NEW BUILDING CONSTRUCTION
	AREA OF CONCRETE
	AREA OF PAVING
	NEW CONCRETE PAVING BLOCK
	NEW LIGHT POLE LOCATION
	NEW FENCE CONSTRUCTION

### KEY NOTES:

- NOT USED.
- CONCRETE PAVING:  
REFER TO DETAIL 11C3.
- CONCRETE CURB:  
REFER TO DETAIL 3C3.
- CONCRETE SIDEWALK:  
REFER TO DETAIL 4C3.
- BUILDING OVERHANG.
- STEEL BOLLARD:  
REFER TO DETAIL 6C3. PROVIDE (2) AT TRASH PAD AND  
OVERHEAD DOOR, PROVIDE (9) AT SIDEWALK. REFER TO  
STRUCTURAL PLAN FOR LOCATION.
- ACCESSIBLE PARKING SIGN:  
REFER TO DETAIL 11C3.
- NOT USED.
- ACCESSIBLE PARKING SYMBOL:  
REFER TO DETAIL 5C3.
- ACCESSIBLE ACCESS UNLOADING ZONE:  
SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE  
AS SHOWN.
- SCREEN FENCE:  
REFER TO DETAIL 12C3.
- SCREEN FENCE GATES:  
REFER TO DETAIL 11C3.
- PROPOSED RAMP:  
REFER TO DETAIL 14C3.
- PARKING LOT LIGHTING:  
REFER TO SITE LIGHTING PLAN BY OTHERS FOR LOCATION AND TYPE.
- LIMITS OF NEW CONCRETE PAVING.
- ROLL DOWN CURB:  
TERMINATE AND ROLL DOWN NEW CURB WHERE INDICATED. ROLL  
DOWN AT 1:2.
- NOT USED.
- STRIPING:  
PROVIDE 4' WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY  
MARKING PAINT - YELLOW (2 COATS)
- NOT USED.
- SIGN LOCATION:  
PROPOSED Pylon SIGN. REFER TO PLANS BY OTHERS FOR DETAILS.
- STOP SIGN AND STOP BAR:  
REFER TO DETAIL 13C3.
- DRAINAGE CHANNEL THROUGH SIDEWALK:  
REFER TO DETAIL 16C3.

MAP 204P, LOT 72  
N/F LANDS OF  
NANCY W. NYLEN  
BK. 3137, PG. 534  
ZONE: GENERAL  
COMMERCIAL  
DISTRICT (CG)  
#183 FISHERVILLE ROAD

### ZONING ANALYSIS TABLE

ZONING DISTRICT	GC (GENERAL COMMERCIAL) RETAIL AUTO PART SALES ARE ALLOWED		
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	25,000 SF	137,600 SF (3.16 AC)	NO CHANGE
MINIMUM BUILDABLE AREA	12,500 SF	137,600 SF (3.16 AC)	NO CHANGE
MINIMUM LOT FRONTAGE	150 FT	150.0 FT	NO CHANGE
MIN. FRONT SETBACK	30 FT	N/A	35.7 FT
MIN. SIDE SETBACK	25 FT	N/A	25.3 FT
MIN. REAR SETBACK	30 FT	N/A	512.3 FT
MIN. SIDE/REAR PARKING SETBACK	5 FT	N/A	5.2 FT
MIN. STREET PARKING SETBACK	10 FT	N/A	21.4 FT
MAX. BUILDING HEIGHT	45 FT	N/A	< 45 FT
MAX. IMPERVIOUS COVERAGE	80%	0%	20.5%
MAX. BUILDING COVERAGE	N/A	N/A	5.4%
PARKING SPACES	30	N/A	31
PARKING CRITERIA	RETAIL SALES = 1 SPACE PER 250 SF OF GFA PLUS 4 PER BAY 7,385 SF / 250 SF = 29.54 OR 30 SPACES REQUIRED ACCESSIBLE PARKING = 26-50 SPACES REQUIRE 2 ACCESSIBLE SPACES (1 VAN) (2 PROVIDED)		

THIS PLAN TO BE UTILIZED FOR SITE  
LAYOUT PURPOSES ONLY

### 1 SITE DEVELOPMENT PLAN

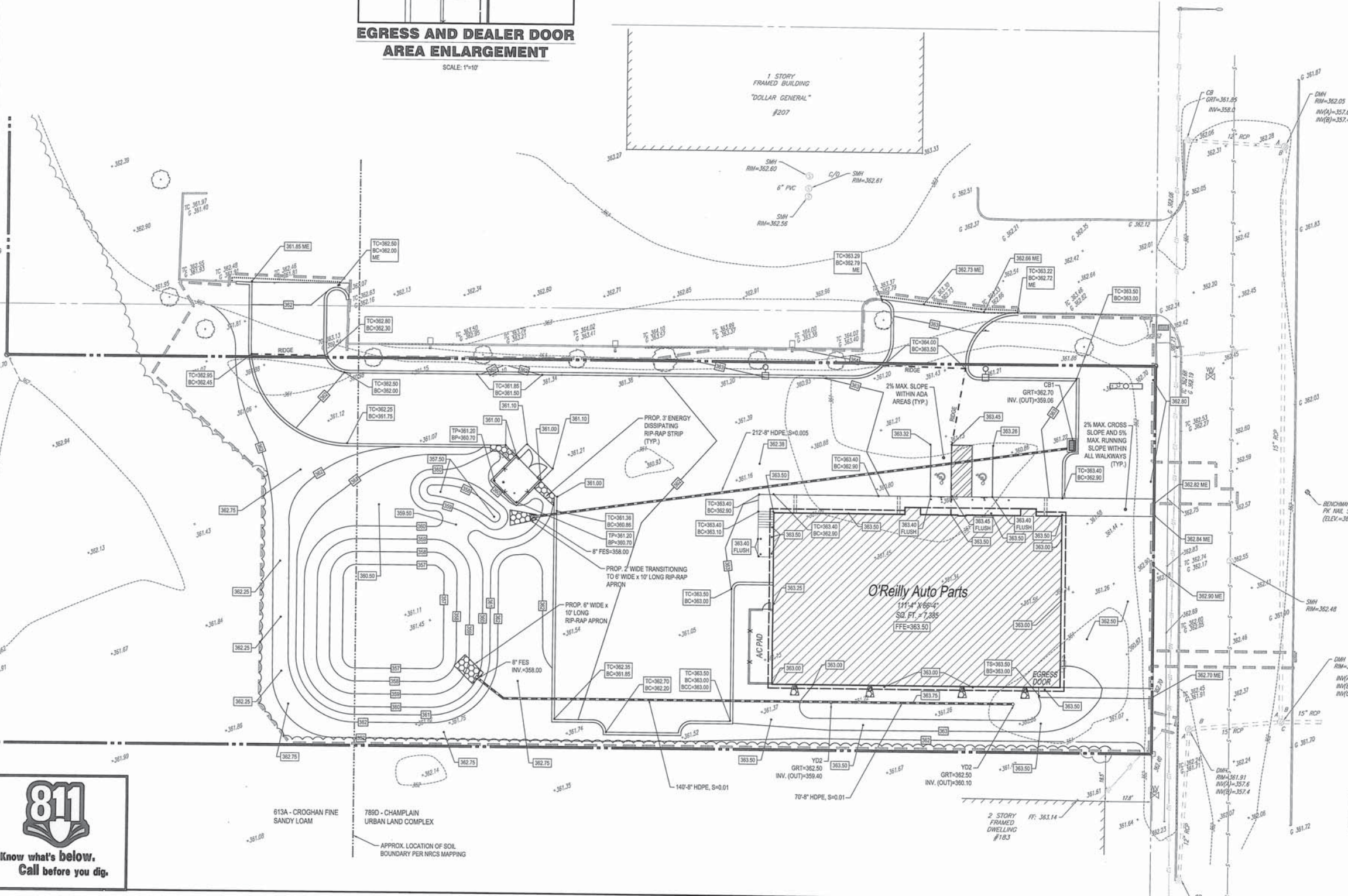
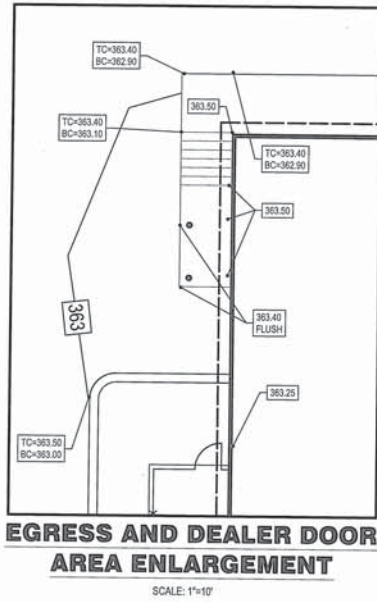
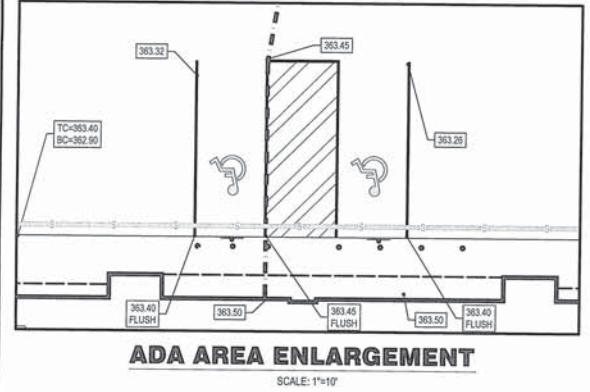
C2 SCALE: 1" = 20'



**811**  
Know what's below.  
Call before you dig.



RECEIVED JUN 29 2015 11:10 AM  
P:\1504\1504\DWG\1504\1504.dwg 04-Grd, 4/23/2015, 10:17:14 AM, e:\users\kum\1504\1504.dwg, 115



**1 SITE GRADING PLAN**  
C1 SCALE: 1" = 20'



**BOHLER ENGINEERING**  
352 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
Phone: (508) 480-9900  
Fax: (508) 480-9080  
www.BohlerEngineering.com

**W.D. COEBEL**  
PROFESSIONAL ENGINEER  
MASSACHUSETTS  
NEW YORK LICENSE NO. 071354-1  
FLORIDA LICENSE NO. 96202

1736 East Sunshine, Suite 417  
Springfield, Missouri 65804  
417.862.0558  
Fax: 417.862.3265  
e-mail: archtctd@esterlyschneider.com

**ESTERLY SCHNEIDER & ASSOCIATES, INC.**  
AIA  
architects & planners

New O'Reilly Auto Parts Store:  
FISHERVILLE ROAD  
CONCORD, NH

**O'Reilly AUTO PARTS**  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
417-862-2674 PHONE

REFER TO GENERAL NOTES SHEET  
FOR GRADING & UTILITY NOTES

THIS PLAN TO BE UTILIZED FOR SITE  
GRADING PURPOSES ONLY

COMM # 3703  
DATE: 06/26/15  
REVISION  
DATE:



## CITY OF CONCORD LANDSCAPE REQUIREMENTS

SECTION OF BYLAW	MIN / WIDTH PREPARED SOIL FOR TREES (X)	REQUIRED	PROPOSED
27.07 (1)	PLANTS SHALL BE NATIVE/NON-INVASIVE SPECIES WITH DECIDUOUS TREES HAVING A MINIMUM CALIPER OF 2 1/2" & EVERGREEN TREES HAVING A MINIMUM HEIGHT OF 6'	YES	YES
27.07 (2)	NO MORE THAN 25% OF TREES SHALL BE OF THE SAME SPECIES  GTR: 1/26 = 4% NS: 5 / 26 = 19% QP: 3 / 26 = 12% AC: 4 / 26 = 15% ARA: 5 / 26 = 19% GE: 2 / 26 = 8% TOE: 5 / 26 = 19%	25% MAX. 25% MAX. 25% MAX. 25% MAX. 25% MAX. 25% MAX. 25% MAX.	YES
28-7-10 (d)	1 TREE SHALL BE PLANTED PER EVERY 1000 S.F. OF PARKING AREA AND SHALL BE PLANTED AT NOT MORE THAN 50' APART  19,245 S.F. / 1000 S.F. = 19,245 TREES	20 TREES	20 TREES

## LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
<b>SHADE TREE</b>					
ARA	5	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG COLUMBARIAN RED MAPLE	2 1/2-3' CAL	B-B
GB	2	GINKGO BILBOA	MAIDENHAIR TREE-GINKO	2 1/2-3' CAL	B-B
GTK	1	GLEDITSIA TRIACANTHOS INTERMIS 'SKYCOLE'	SKYLINE THORNLESS HONEYLOCUST	2 1/2-3' CAL	B-B
NS	5	NYSSA SYLVATICA	SOUR OAK OR TUPELO	2 1/2-3' CAL	B-B
QP	3	QUERCUS PALUSTRIS	PIN OAK	2 1/2-3' CAL	B-B
	16				
<b>ORNAMENTAL TREE</b>					
AC	4	AMELANCHIER CANADENSIS	MULTI STEM SHADBLOW SERVICEBERRY	8-10'	B-B
<b>EVERGREEN SHRUB</b>					
TMD	10	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMS YEW	24-30"	B-B
TOE	5	THUJA OCCIDENTALIS 'EMERALD'	EMERALD GREEN ARBORVITAE	5-6"	B-B

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE

**GENERAL NOTES:**

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY ESTABLISHED INSPECTION POINT TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- C. REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- D. ALL PLANTING TYPES SHALL COMPLY WITH LOCAL GOVERNING CODES AND REGULATIONS. CONFORM TO REQUIREMENTS OF PLANT LIST AND TO THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARD OF NURSERY STOCK" AND "HORTICULTURAL STANDARDS" AS TO SPECIES, AGE, SIZE, AND PLANTING RECOMMENDATIONS.
- E. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- F. PLANT QUANTITIES ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CLUMPS.
- G. QUANTITIES OF MATERIALS SHOWN ON LANDSCAPING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON PLANTING SCHEDULE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON LANDSCAPING PLAN.
- H. PROVIDE 4" TPOIL AT ALL SOO, SEED AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOO THICKNESS. REFER TO CIVIL SITE GRADING PLAN FOR SLOPE REQUIREMENTS.
- I. WHEN CLAY SILT IS ENCOUNTERED IN THE ESTABLISHMENT OF THE LAWN OR THE INSTALLATION OF PLANT MATERIAL, IT SHALL BE IMPROVED IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
- J. REESTABLISH TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE RIGHT-OF-WAY.
- K. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.



**736 East Sunshine, Suite 417  
Springfield, Missouri 65804  
417.862.0558**

**e-mail: [architect@esterlyschnelder.com](mailto:architect@esterlyschnelder.com)**  
**Fax: 417.862.3265**

**ESTERLY  
&  
SCHNEIDER  
ASSOCIATES, INC.**  
AIA architects & planners

1

FISHERVILLE ROAD  
CONCORD, NH

# AUTO PARTS

**O'Reilly**  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
417-862-2674 PHONE

DMM # 3703

DATE: 06/26/15  
DIVISION  
DATE:

1 of 3

FISHERVILLE ROAD

(F.K.A. PENACOOK ROAD)  
(A.K.A. NEW HAMPSHIRE ROUTE US 3)  
(A.K.A. DANIEL WEBSTER HIGHWAY)  
(PUBLIC - 60' WIDE)  
(ASPHALT ROADWAY)  
(SPEED LIMIT - 30 MPH)

## LANDSCAPE SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS  
LEGEND



**AREA OF SHREDDED CYPRESS  
MULCH (COLOR TO BE  
APPROVED BY O'REILLY  
REPRESENTATIVE)**



**AREA OF HYDROSEED**



**AREA OF DETENTION BASIN  
SEED MIX**



AREA OF NEW SHRUB  
REFER TO PLANTING SCHEDULE  
FOR SIZE AND TYPE

THIS PLAN TO BE UTILIZED FOR  
LANDSCAPE PURPOSES ONLY

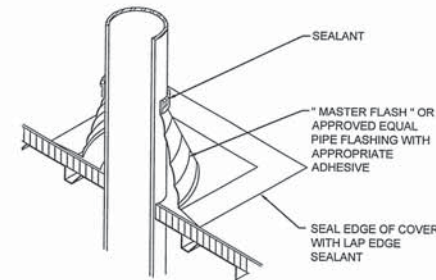
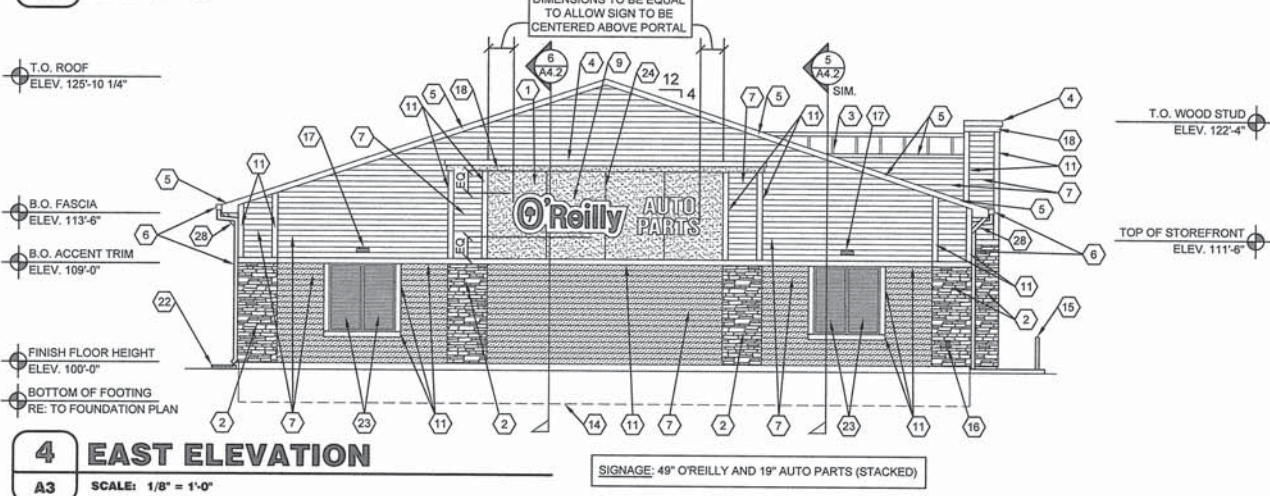
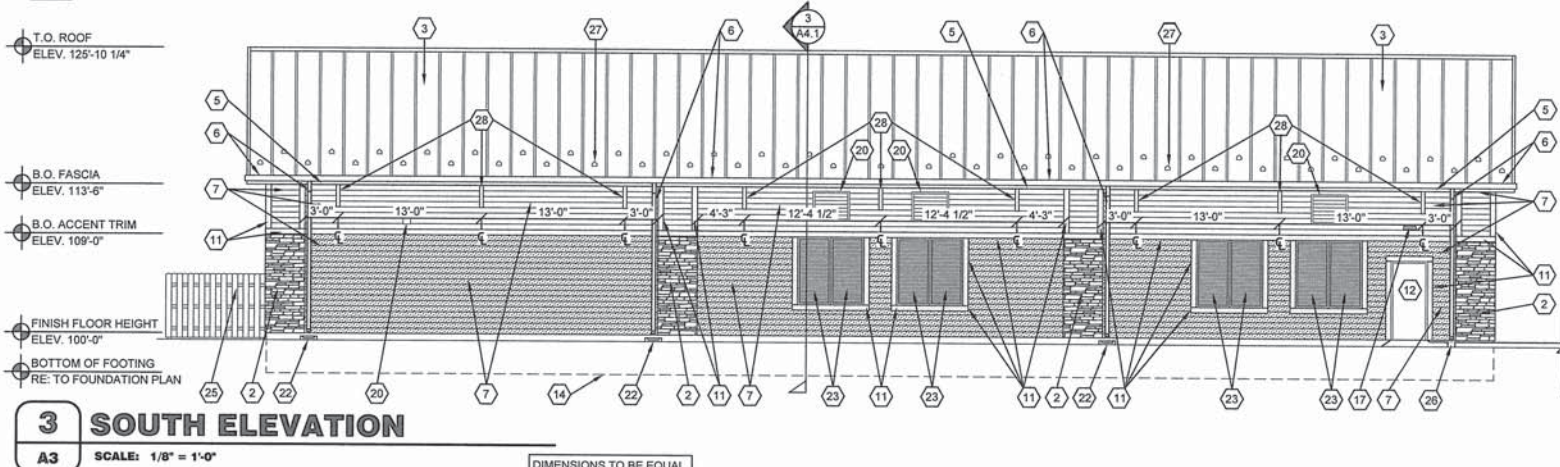
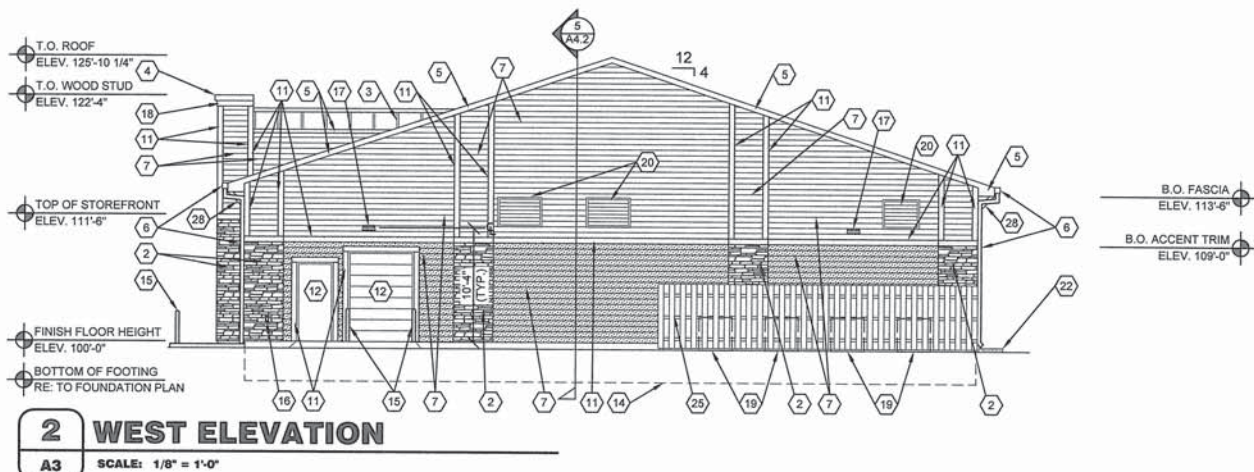
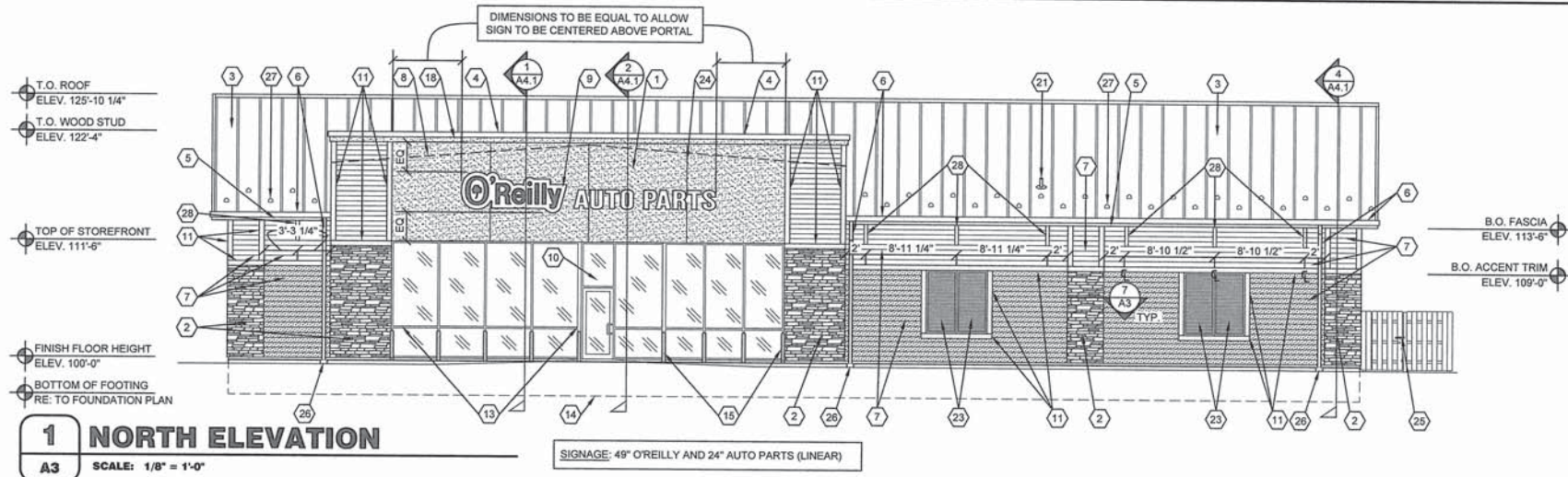
## 1 LANDSCAPE PLAN

<b>L1</b>	<b>SCALE: 1" = 20'</b>
-----------	------------------------

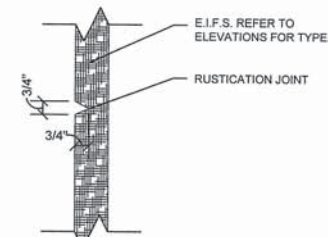


**Know what's below.  
Call before you dig.**

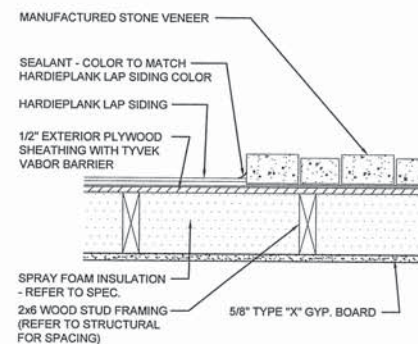




**5 VENT PIPE**  
A3 SCALE: N.T.S.



**6 JOINT DETAIL**  
A3 SCALE: N.T.S.



**7 SIDING AT STONE**  
A3 SCALE: 1-1/2" = 1'-0"

EXTERIOR FINISH SCHEDULE		
TYPE:	COMPANY TYPE:	COLOR:
MANUFACTURED STONE VENEER	ELDORADO STONE CO.	RUSTIC LEDGE "SAWTOOTH"
HARDIE PLANK LAP SIDING "SELECT CEDARMILL" ***PRIMED FOR PAINT***	JAMESHARDIE	FIELD COLOR: FIELD PAINT SHERWIN WILLIAMS "SOFTER TAN" SW 6141
		ACCENT COLOR: FIELD PAINT SHERWIN WILLIAMS "LATTE" SW 6108 (INDICATED BY SHADING: [Pattern])
EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.)	DRYVIT - OUTSULATION PLUS MD SANDBLAST FINISH	FIELD PAINT SHERWIN WILLIAMS "KAFFEE" SW 6104
STOREFRONT (NO SUBSTITUTES)	EFCO	IVY
	KAWNEER	DARK IVY
	VISTA WALL	INTERSTATE GREEN
BOLLARDS	IN FIELD	FIELD PAINT SHERWIN WILLIAMS "HUNT CLUB" SW 6408 (SEMI-GLOSS)
EXTERIOR DOORS	OWNER	FIELD PAINT SHERWIN WILLIAMS "LATTE" SW 6108 (SEMI-GLOSS)
OVERHEAD DOOR	OWNER	FIELD PAINT SHERWIN WILLIAMS "LATTE" SW 6108 (SEMI-GLOSS)
FACTORY PRIMED SHEET METAL CAP FLASHING AT STOREFRONT	IN FIELD	FIELD PAINT SHERWIN WILLIAMS "SOFTER TAN" SW 6141
PRE-FINISHED STANDING SEAM ROOF	BERRIDGE	WHITE

**GENERAL NOTES:**

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- REFER TO MECHANICAL / ELECTRICAL PLAN FOR SYSTEM TYPES AND LOCATIONS.
- REFER TO SITE DEVELOPMENT PLANS FOR ADDITIONAL REQUIREMENTS.

**KEY NOTES:**

- EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.): REFER TO EXTERIOR FINISH SCHEDULE.
- MANUFACTURED STONE VENEER: INSTALL PER MANUFACTURER'S RECOMMENDATIONS. REFER TO EXTERIOR FINISH SCHEDULE FOR MORE INFORMATION. FIELD PAINT EXPOSED BLOCK BELOW TO MATCH STONE COLOR.
- PRE-FINISHED STANDING SEAM ROOF BY BERRIDGE: REFER TO EXTERIOR FINISH SCHEDULE AND SECTIONS FOR ADDITIONAL INFORMATION.
- FACTORY PRIMED SHEET METAL CAP FLASHING: REFER TO EXTERIOR FINISH SCHEDULE.
- PRE-FINISHED FASCIA: COLOR SHALL BE WHITE.
- PRE-FINISHED GUTTER AND DOWN SPOUTS: COLOR SHALL BE "WHITE" TO MATCH FASCIA.
- HARDIEPLANK LAP SIDING: HARDIEPLANK LAP SIDING BY JAMESHARDIE. REFER TO EXTERIOR FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- LINE OF ROOF: DASHED LINE INDICATES LINE OF ROOF BEYOND WITH SLOPE OF 1/4" PER FOOT.
- SIGN: APPROXIMATE OUTLINE OF SIGN. PROVIDE BLOCKING AS REQUIRED FOR MOUNTING OF SIGN, COORDINATE WITH SIGN COMPANY FOR EXACT SIGN PLACEMENT. OWNER FURNISHED AND INSTALLED LOGO. REFER TO SIGN PACKET INFORMATION FOR FURTHER DETAIL.
- ADDRESS NUMBERS: 6" VINYL BY CONTRACTOR. COLOR TO BE WHITE.
- ACCENT TRIM: HARDIEBOARD TRIM "S4 NT3 SMOOTH (5 1/2")" BY JAMESHARDIE. PRE-FINISHED "ARCTIC WHITE"
- DOOR AND FRAME: (REFER TO DOOR SCHEDULE.)
- STOREFRONT: (REFER TO FLOOR PLAN FOR WINDOW TYPES.)
- LINE OF FOUNDATION: (REFER TO FOUNDATION PLAN.)
- STEEL BOLLARDS: (9) TYPICAL AT STOREFRONT (2) AT O.H. DOOR LOCATION. FIELD PAINT PER EXTERIOR FINISH SCHEDULE. (REFER TO FOUNDATION PLAN.)
- HOSE BIB: (REFER TO PLUMBING PLAN)
- LIGHT FIXTURE: (REFER TO ELECTRICAL PLAN)
- E.I.F.S. CORNICE: DRYVIT - OUTSULATION PLUS MD WITH SANDBLAST FINISH. FIELD PAINT SHERWIN WILLIAMS "SOFTER TAN" SW 6141. REFER TO SHEET A4 FOR MORE INFORMATION.
- HVAC UNIT (BEYOND): APPROXIMATE LOCATION (REFER TO MECHANICAL PLAN FOR EXACT LOCATION)
- MECHANICAL WALL PENETRATIONS: PROVIDE FRAMING, FLASHING, AND SEALANT AS REQUIRED. (REFER TO M.E.P. SHEETS)
- ROOF PIPING VENT: REFER TO DETAIL 5/A3.
- CONCRETE SPLASH BLOCK: INSTALL AT EACH DOWNSPOUT.
- SHUTTERS: 3'-0"x6'-0" VINYL SHUTTERS. FIELD PAINT, COLOR TO BE SHERWIN WILLIAMS "SOFTER TAN".
- RUSTICATION JOINT: REFER TO DETAIL 6/A3.
- HVAC ENCLOSURE: 6'-0" TALL WOOD FENCE AND GATE ENCLOSURE.
- DRAINAGE CHANNEL THROUGH SIDEWALK: REFER TO CIVIL.
- SNOW GUARD: EQUAL TO ALPINE SNOWGUARDS PD30-CL POLYCARBONATE PAD-STYLE SNOW GUARD.
- FAUX WOOD COVE KNEE BRACE EQUAL TO MODEL # KB-8016 (4"x24"x12") BY FAUXWOODBEAMS.COM. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.



1736 East Sunshine, Suite 417  
Springfield, Missouri 65804  
417.862.0558  
Fax: 417.862.3265  
e-mail: architect@esteryschneider.com

**ESTERY SCHNEIDER & ASSOCIATES, INC.**  
architects & planners  
AIA (CONCORD #1)

New O'Reilly Auto Parts Stores

FISHERVILLE ROAD  
CONCORD, NH

**O'Reilly AUTO PARTS**

**O'Reilly**  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
417-862-2674 PHONE

COMM # 3703

DATE: 6-26-15  
REVISION  
DATE:



# Ordering Number Logic Scalable Wall Pack (EWS1)

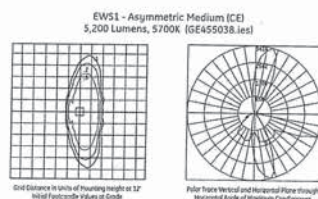
EWS1 - E - 5 - G - 1 - N

PROD. ID	VOLTAGE	OPTICAL CODE	PHOTOMETRIC TYPE	DRIVE CURRENT	LED COLOR	LENS TYPE	FUNCTION	MOUNTING	COLOR	OPTIONS
E = Evolve	120-277V	A = Asymmetric	1 = 120°	1.5A	4000K	1 = None	1 = None	1 = None	BLACK - Black	F = Fusing
W = Wallpack	120-277V	B = Bi-Directional	2 = 20°	1.5A	4000K	2 = 20°	2 = 20°	2 = 20°	BLACK - Black	F = Fusing
S = Scalable	120-277V	C = Circular	3 = 30°	1.5A	4000K	3 = 30°	3 = 30°	3 = 30°	BLACK - Black	F = Fusing
1 = Optical Assembly	120-277V	D = Diffuse	4 = 40°	1.5A	4000K	4 = 40°	4 = 40°	4 = 40°	BLACK - Black	F = Fusing

OPTICAL CODE	PHOTOMETRIC TYPE	TYPICAL INITIAL LUMENS	TYPICAL SYSTEM WATTAGE	IES FILE NUMBER
A	E	2900	2200	43
B	E	4000	4300	54
C	E	4900	5200	67

## Photometrics



## TYPE 'E1' LIGHT FIXTURE

# Ordering Number Logic Evolve™ LED Scalable Area Light (EAS8)

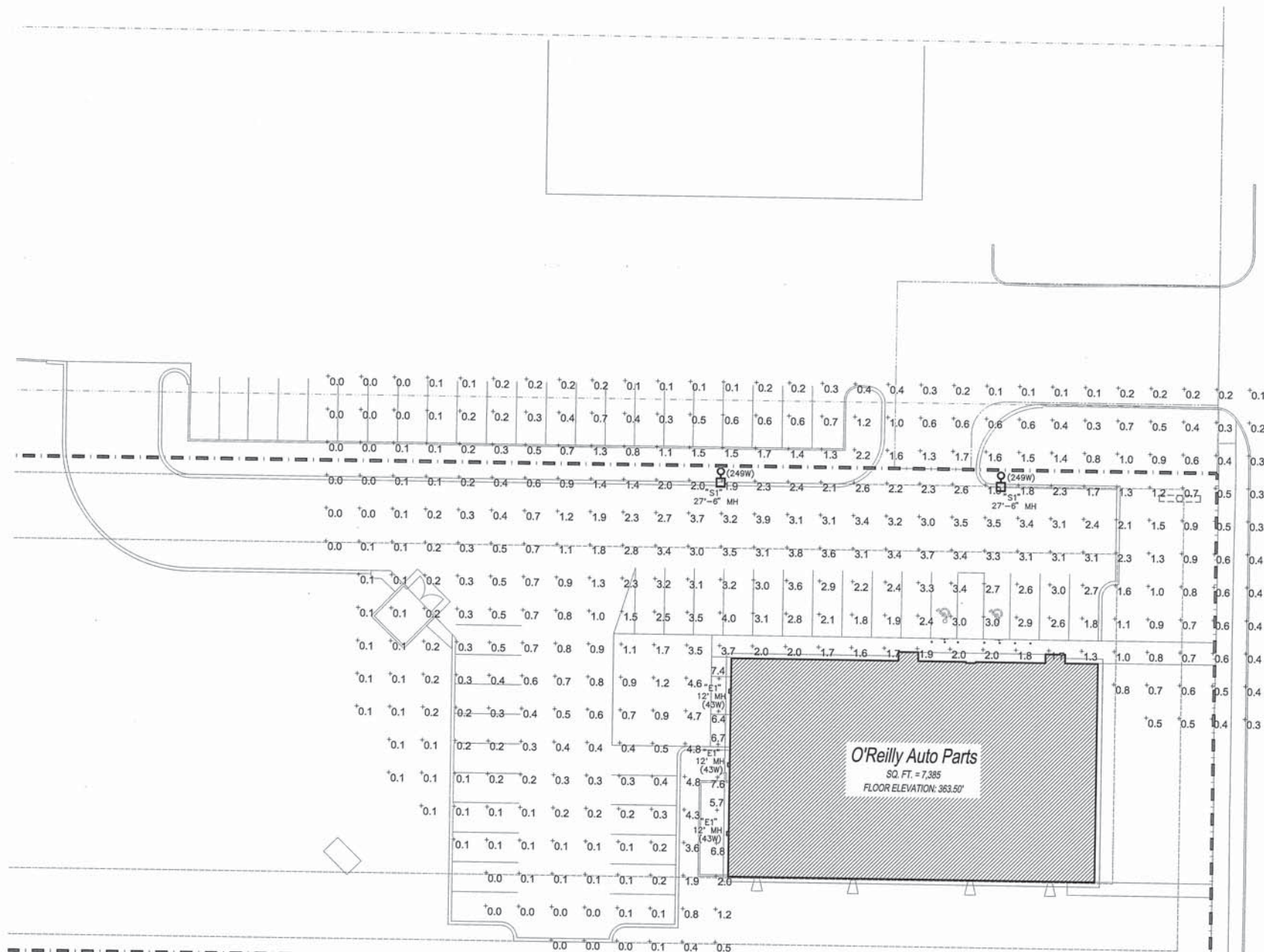
EAS - 8

PROD. ID	PHOTOMETRIC TYPE	VOLTAGE	OPTICAL CODE	DRIVE CURRENT	LED COLOR	LENS TYPE	FUNCTION	MOUNTING	COLOR	OPTIONS
E = Evolve	120-277V	A = Asymmetric	1 = 120°	1.5A	4000K	1 = None	1 = None	1 = None	BLACK - Black	F = Fusing
W = Wallpack	120-277V	B = Bi-Directional	2 = 20°	1.5A	4000K	2 = 20°	2 = 20°	2 = 20°	BLACK - Black	F = Fusing
S = Scalable	120-277V	C = Circular	3 = 30°	1.5A	4000K	3 = 30°	3 = 30°	3 = 30°	BLACK - Black	F = Fusing
1 = Optical Assembly	120-277V	D = Diffuse	4 = 40°	1.5A	4000K	4 = 40°	4 = 40°	4 = 40°	BLACK - Black	F = Fusing

OPTICAL CODE	PHOTOMETRIC TYPE	TYPICAL INITIAL LUMENS	TYPICAL SYSTEM WATTAGE	IES FILE NUMBER
A	E	2900	2200	43
B	E	4000	4300	54
C	E	4900	5200	67

## TYPE 'S1' LIGHT FIXTURE



## 1 SL2 SITE LIGHTING PLAN SCALE: 1"=20'



FISHERVILLE ROAD  
(F.K.A. PENACOOK ROAD)

Rod L. Finkle, P.E. #08178  
3333 East Mainfield, Suite 1000  
Springfield, Missouri 65804  
Phone: 417.862.0558  
Fax: 417.862.3265  
info@esterly.com  
esterly.com



1736 East Sunshine, Suite 417  
Springfield, Missouri 65804

417.862.0558  
Fax: 417.862.3265  
e-mail: architect@esterly.com

ESTERLY  
SCHNEIDER &  
ASSOCIATES, INC.  
AIA  
architects & planners

New O'Reilly Auto Parts Stores

FISHERVILLE ROAD  
CONCORD, NH

(CONCORD #1)

O'Reilly  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
417-862-2674 PHONE

COMM # 3703

DATE: 6-26-15  
REVISION  
DATE:



